

# salisbury VILLAGE



## Stage 4

# Architectural Design Guidelines

Plan: TBD

FINAL – October 20, 2023

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## DIRECTORY

- Developer:** **Avillia Developments Ltd.**  
Suite 328 14127 23 Avenue  
Edmonton, Alberta T6R 0G4  
Phone: (780) 435-1388  
Fax: (780) 435-1377
- Engineering Consultant:** **SELECT Engineering Consultants Ltd.**  
Suite 100, 17413-107 Avenue NW  
Contact : Eric Bazzareli  
Edmonton, Alberta T5S 1E5  
Phone: (780) 651-5777  
Fax: (780) 651-5757
- Architectural Applications:** **Windward Landtec Inc.**  
12128 - 121A Street  
Edmonton, Alberta T5L 0A4  
Contact: Ray Jacobson  
Phone: (780) 454-6799  
Fax: (780) 454-6896  
Web: [www.windwardlandtec.com](http://www.windwardlandtec.com)  
[info@windwardlandtec.com](mailto:info@windwardlandtec.com)
- Surveyor:** **Arcadis IBI Group**  
Suite 300 10120-103 Ave  
Edmonton, Alberta T5J 3R6  
Contact: Mike Montgomery  
Phone: (780) 428 4000 ext 68069  
Email: [mike.montgomery@arcadis.com](mailto:mike.montgomery@arcadis.com)
- Solicitor:** **Coulter Dalton Wolanski LLP**  
101 4209 99 Street  
Edmonton, Alberta, T6E 5V7  
Contact: Erin Harrigan  
Real Estate Paralegal  
Phone: 780-637-8184  
Email: [erin@cdwlaw.ca](mailto:erin@cdwlaw.ca)
- Geotechnical Consultants:** **J.R Paine & Associates Ltd**  
17505 – 106 Avenue  
Edmonton, Alberta T5S 1E7  
Phone: (780) 489-0700  
Fax: (780) 489-0800

**1.0 OBJECTIVE: The Community of Salisbury Village**

The objective of the architectural guidelines is to ensure the very highest standard of visual appeal and image; ensuring compatibility among homes and integration of the community into the natural landscape. Outlining the opportunities and constraints of building, these guidelines will assist builders, designers and home buyers in achieving problem free construction.

The information contained herein is provided as a guide and the Developer and its Designated Consultant make no warranties or representations as to the accuracy or completeness of these guidelines. Builders shall be fully and solely responsible for all designs which follow these guidelines and for the conformance to the appropriate building codes. The guidelines may be altered, amended or varied by the Developer Avillia Developments in its sole and absolute discretion.

**2.0 DESIGN VISION of Salisbury Village**

The design vision for Salisbury Village represents a contemporary modern esthetic. This is achieved by using materials, colours and forms that create a sense of modern urban living, in a unique suburban environment. The contemporary vision for the individual house facades will be achieved through simple forms and well-proportioned elements combined with a controlled use of materials and colours as indicated by the images below. These three forms are referred to in these Design Guidelines as Prairie Modern, Contemporary Modern and Farmhouse Modern.

By following these guidelines, the homeowner will find a varied palette of materials, textures, colours and design elements to create their own personalized home.



**Prairie Modern**



**Contemporary Modern**



**Farmhouse Modern**

**3.0 STREETSCAPE**

Care must be taken to integrate the unique values of each home with special attention to the relationship with neighboring properties. Relative massing, siting and style will be of utmost importance in assuring each home compliments its neighbour and the subdivision. Building massing, siting and style may be adjusted and/or alternate treatments requested to reinforce the streetscape.

#### 4.0 **HOUSE SIZE**

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and neighbouring houses. As a maximum, the garage frontage should not be more than 72% of the pocket width. Small lots or building pockets will often exceed this requirement but will generally be acceptable. Additional garage width beyond this requirement will be allowed at the discretion of the Consultant and will be reviewed in context to additional design elements on the front of the home.

##### Front Drive Garage

The minimum house width must be within two (2) feet of the recommended building pocket on lots greater than a twenty eight (28) foot pocket. The minimum house width is twenty six (26) feet. The maximum garage offset allowed is two (2) feet and may be increased to four (4) feet for pockets greater than thirty two (32) feet.

##### Duplex

The minimum house width must be within two (2) feet of the recommended building pocket.

##### Townhome

The minimum house width must be maximized to the building pocket.

Homes incorporating a garage offset of more than two (2) feet will be specifically reviewed for suitability. Homes will be reviewed on their individual merits of design, massing, proportion, and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house confirms with the general trend of the neighborhood, exceptions may be considered.

#### 5.0 **SITE PLANNING AND GRADING**

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision. For lots with a more dramatic change in terrain such as walk-out basement lots, there may be a requirement for special terracing and/or retaining walls. The builder shall be responsible for the design and construction of such retaining structures and must ensure design grades and lot drainage is not compromised.

Natural elements such as boulders are preferred for construction of all retaining walls, to provide a blend with the natural terrain. Alternatives such as concrete or blocks may be used to match the modern style. If the retaining structure is to be more than one meter in height, it must be stepped to reduce the wall's visual mass.

Special attention is to be given to the treatment of exposed concrete foundation walls. A maximum of one (1) foot of parged concrete will be permitted on the front elevation and

two (2) feet on all remaining elevations of the homes. Variation in grade and basement design may require cladding material be lowered or extended to within two (2) feet of ground level.

Front entry steps are to be a maximum of three risers per set. Where the grade calls for more than three risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography, and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum four (4) feet wide with appropriate railing style.

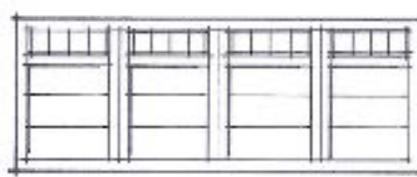
## 6.0 **GARAGE / DRIVEWAY**

Double attached as a minimum attached front drive garages are allowed under the massing guidelines previously discussed and must be located in accordance with the garage location plan. Driveways and front walks must be exposed aggregate concrete,

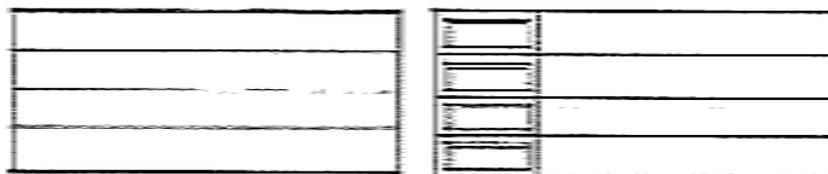
stamped concrete or broom finished concrete. Driveways are required to have a driveway width at the front property line not larger than the width of the garage. All side drive garage locations will be reviewed for compatibility with adjacent homes. Side drive garage locations will require a landscaping buffer to adjacent lots.

A maximum of eighteen (18") inches must be maintained between the overhead garage door and the eave line. Where the height exceeds eighteen (18") inches, special detailing may be required. Gable ends will require appropriate detailing to soften the visual impact accordingly. Garage overhead doors must be compatible with the house style.

Garage overhead doors will be painted to blend with the exterior and enhance the presentation. Corners of overhead doors must be straight. Angled corners will not be permitted. An upgraded overhead door is required appropriate to style, as illustrated below:



Prairie



Modern / Contemporary / Farmhouse

## **7.0 REPETITION**

Similar or identical front elevations may not be duplicated within two lots or directly across the street, (XOAX) unless significant changes have been made to the house style, roof pitch and exterior materials to the satisfaction of the Architectural Consultant. It is recommended that the same or similar model should have at least one lot between homes.

On lots designated as high or moderate visibility, repetition must be addressed at both the front and rear elevations.

Repetitive use of elevations, this includes front elevations as well as high visibility rear elevations, will be monitored to ensure interesting streetscapes.

## **8.0 EXTERIOR COLOURS**

Colours will be approved on an individual basis. Colours will not be duplicated on adjacent lots or directly across the street. The use of a third accent colour is required. This colour may typically be used on the front door or may be used in combination of trim elements for the home. In keeping with the character of the neighborhood and in consideration of blended streetscapes, pastel colours are not permitted. Darker colour palettes will dominate the streetscapes. Lighter cladding colours may be used moderately in combination with darker palettes in contrast for Farmhouse style plans. All exterior colour schemes will be approved on a lot-by-lot basis. The Architectural Consultant reserves the right to approve or disapprove any colour scheme. Premium colour selections are required. The predominance of one colour or colour palette within a street will not be permitted. Streetscapes require a variety of wall cladding and trim colours, specific to the style.

## **9.0 CORNER LOTS**

Special attention must be paid to side and rear elevations and side yard setbacks on all corner lots. The side and rear elevations should have the same treatment (i.e.: box outs, detailed battens, stone/brick) as the front elevation, as it is even more visible than the front elevation from the street. Side elevations on all corner lots must be approved by the Architectural Consultant. Side drive garages may be allowed on corner lots subject to review by the Architectural Consultant.

## **10.0 HIGH VISIBILITY LOTS**

The rear elevation of homes on perimeter lots will require wall openings of a number and size appropriate to the area of wall surface, roof lines and suitable overhangs at cantilevers, box-outs and bay windows. In addition, roof lines and decks will be required to prevent a three-story presence. An element of detail is to be included on these elevations to match the front elevation and overall design.

## 11.0 **ROOFING**

Roof materials are to be asphalt shingles. Minimum roof pitch and roof overhangs are as per each style. Reduced overhangs may be allowed if they are proportionate to the design of the home at the discretion of the Architectural Consultant. The minimum fascia size will be 8". The rooflines on any house must be consistent or complementary to the total house design.

The roofing materials and colours may be selected from the attached Appendix 'A'.

## 12.0 **EXTERIOR FINISHES**

To achieve the standard and caliber of visual appeal, a requirement for architectural detailing and continuity will apply to all homes.

Brick or stone, a minimum of one hundred (100) square feet, will be required on all homes built on a thirty (30) foot pocket and smaller. Brick or stone, a minimum of one hundred and twenty (120) square feet, will be required on all homes built on thirty two (32) to thirty four (34)-foot pockets.

Trim will be a minimum six (6") inches. A reduced trim of five (5") inches in a textured smart board will also be acceptable.

Entranceways will be covered at a level that encloses and protects the space at the first level or a height proportionate to the design. The grand but somewhat overwhelming two storey pillared entries will be discouraged. The front facing elements of all verandahs and entrances must be accented with stone, brick or another suitable accent material that conforms with the prescribed style of the home. This will typically be the front column support at the entrance. All entrance areas are to have concrete steps with at minimum an exposed front face. All exposed wood is to be stained to match the wall colour or trim colour.

Acceptable cladding materials include:

- brick, stone or shale in stacked application
- hardboard siding, pre-finished (long life), horizontal application - (Hardie Board - typical)
- longboard or lux panel
- stucco of sand float finish (traditional)
- acrylic stucco

No vinyl siding is allowed.

All trim details and masonry must be returned two (2) feet around corners.

Where columns or posts are used on the front or highly visible elevations, they are to be of substantial form and solid in appearance and suitable for the architectural style. Columns and posts may include suitable step details.

Homes will be reviewed on their individual merits of design, massing proportion and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

### **13.0 FENCING / LANDSCAPING / OTHER**

Wood fencing is acceptable on all lots and shall be consistent in design and colour with the fencing style established for the community, an illustration of which is attached. (Appendix C)

#### **13.1 Landscaping**

It is the responsibility of the Builder or their clients to landscape the front yard and the rear yards of all high visibility lots. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

All eco-scaping proposals shall include a minimum of 50% sod and must be approved by the Architectural Consultant.

All High Visibility Lots (backing on to a public amenity) will require the rear yard to be 100% landscaped. In addition to sod, it is encouraged to bring in some eco-scaping features.

All turf should be drought-tolerant fine fescue blends. It is recommended that all turf grass purchased be Water Star certified.

Synthetic grass may be permitted but samples must be submitted to the Consultant for approval.

The minimum landscape standard for all lots shall consist of sod, one tree and a prepared shrub bed containing at least six shrubs in the front yard. In addition, the rear yard of all high visibility lots will require sod and one additional tree. The minimum deciduous tree shall be two (2") inch caliper for front yard and two (2") inch caliper for rear yards - measured six (6") inches above ground. The minimum coniferous tree (spruce or pine) must be a minimum six( 6') feet tall. Shrubs shall be eighteen (18") inches in height or spread. A prepared bed is defined by edging (landscaping vinyl, brick, concrete, etc.).

All landscaping must be completed, in accordance with the requirements, within twelve (12) months of occupancy.

#### **Landscape Deposit**

The Landscape Deposit can be processed by the Builder to ensure, inter alia, compliance with these design guidelines. The amount of the deposit is to be

determined by each builder, collected from the Home Purchaser and returned to them based on their own process.

13.2 Accessory Buildings

The side wall elevations of all ancillary buildings and garden sheds shall not extend higher than adjacent fencing. Where visible from a public adjacency (i.e., all perimeter lots and corner lots), accessory buildings must be consistent in style, finish and colour, with the house. Roof style and materials are to match the materials used on the roof of the house.

13.3 Address Plaque

A standardized address plaque, as per the subdivision detail, is required for all homes in the sub-division. It should be placed on the front of the garage in a visible location. Alternate locations may be accepted at the discretion of the Architectural Consultant.

13.4 Downspouts

Must be directed away from the house to the streets or the rear drainage Structures. Storm water must not be directed onto adjacent lots.

13.5 Dog Runs

Dog runs and other enclosures must be properly screened and otherwise hidden from view by prescribed wood fencing.

13.6 Recreation Equipment / Vehicles and Commercial Vehicles

No House trailer, recreation vehicle, trailer of any kind, truck, camper, boat, or other vehicle over  $\frac{3}{4}$  ton, farm machinery or any vehicle of any kind not functional or in a state of disrepair shall be parked, kept, stored, placed or maintained on any lot in the Neighborhood in such a way that it is visible from the street or any Public Lands. No house trailer, recreation vehicle, trailer of any kind, truck, camper, boat or other vehicle over  $\frac{3}{4}$  ton shall be parked, kept, stored, placed, or maintained on any lot in the Neighborhood except on a special pad, the location and design of which has been approved in advance and in writing by the Design Consultant, who, prior to giving any approval, must be satisfied that such vehicles and equipment will not be visible from the street or any Public Lands and that same are properly screened or otherwise hidden from view by prescribed wood fencing and that there will be no adverse effect on any proposed, approved or Developer landscaping.

No recreation vehicles or commercial vehicles in excess of  $\frac{3}{4}$  ton capacity shall be parked on the driveway or in front of any home for more than 48 hours in any consecutive 72-hour period.

## 14.0 **INTERPRETATION**

The enforcement, administration and interpretation of these guidelines shall be at the discretion of Avillia Developments Ltd. or its Architectural Consultant. The unfettered application of these guidelines shall be without notice or precedent.

## 15.0 **SITING**

### 15.1 Consultant

Check with the Architectural Consultant for all applicable drawings, and any special conditions.

### 15.2 Municipality Regulations

Ensure that County of Strathcona regulations are met and note relevant plans regarding utilities and rights of way.

### 15.3 Grading

Check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

### 15.4 Plot Plans

Plot plans and stakeout must be carried out by the designated surveyor only.

Plot plans must include the following:

- Scale 1:300 metric
- North arrow
- Municipal address
- Legal description of property
- All property lines designated and dimensioned.
- Size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable.
- All cantilevers (including floor, bay windows, fireplaces, eaves, etc.)
- Abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately figured, explicit and complete.
- Spot elevations around building and drainage directions
- Dimensions from property line to sidewalk and face of curbs

## 16.0 **SUBDIVISION APPEARANCE**

### 16.1 Signage

All signage will be supplied by the Developer, i.e.: directional signs and general information signs. The only signage to be supplied by the Builders will be on lots

owned or sold by that Builder. Excessive abuse of signage, including sandwich boards, may necessitate removal of ALL Builder's and Realtor's signs.

16.2 Excavation Material

All Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice the Builder for expenses.

16.3 Clean-Up

Builders should encourage timely removal by all sub-trades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all Builders.

16.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, streetlights, services, etc. on his lot and must submit written notice of any damages to the Developer at possession, otherwise costs for repairing any damages becomes the sole responsibility of the Builder.

## 17.0 APPROVAL PROCESS

At possession, the Builder inspects the lot and all services. All discrepancies or damage are to be reported in writing with the application and a copy forwarded to the Developer via the Streetscape Website.

All submissions for architectural approval will be submitted online through the Streetscape Lot Management System. Access to Streetscape is available by invitation only and every user on the system must belong to a builder group. If your builder group is already set up, then you are ready to request access. If you don't yet have a builder group- then you can contact the Developer directly to have one set up and request the orientation package.

An application must be submitted to the designated consultant through the Streetscape system as follows:

- a) One complete set of home plans: 1/4" or 3/16" = 1"
- b) A copy of the Plot Plan, prepared by Pals Geomatics Corp, 1:300, Showing lot home grades and drainage pattern, floor and garage elevations; and
- c) One completed application form
- d) Material and colour samples as required.

Any changes by the Builder from approved plans must be submitted to the Developer or the Architectural Consultant and approved in writing. Incomplete applications cannot be processed. An application is deemed to be received on the date that it is submitted on the Streetscape platform.

For further information on how to submit for architectural approval, please visit the following webpage to download DPF instructions: <https://support.streetscapeplus.com/support/home>

No stakeout will be granted until approved by via the Designated Consultant and Developer.

## 18.0 SECURITY DEPOSIT

The Security Deposit will be paid to the Developer to ensure, inter alia, completion with these design guidelines, including:

- confirmation that there is no contravention of the architectural requirements in these design guidelines; and
- to verify that no damage has been made to the improvements and additional damage to curb stop — water valve, sidewalks, curbs and gutters, driveway aprons and asphalt, boulevard landscaping and trees, rear gutters and

walkways, light standards, fire hydrants, cathodic protection points, grading and drainage swales and fencing.

Security Deposit will be determined and collected based on the purchase contract for each lot.

### **18.1 Security Deposit Return Procedure**

Upon completion of construction, site works, and landscaping, a final inspection will be completed by the Developer or the Developer's Consultant to ensure compliance with the Standard Terms and Conditions of which these guidelines form part.

Prior to such inspection, the following items must be completed:

- the as-built single-family dwelling(s) on the Lands have been built in accordance with the Design Guidelines in accordance with the plans approved by the Developer.
- The Builder has otherwise complied with the Design Guidelines and the Developer is satisfied that any and all damages to the Improvements have been rectified and paid for by the Builder.
- the Builder has otherwise fulfilled all of its obligations under the Lot Purchase Agreement; and
- the Developer has obtained a Final Acceptance Certificate from the County respecting the Subdivision.

To initiate a final inspection, the Builder must forward to the Developer or the Developer's Consultant a request form accompanied by the approved grading certificate provided by the County.

## Appendix A

### Approved roofing products and colours for Salisbury Village

GAF	Tmberline HD	Weatherwood, Charcoal. Slate Pewter Grey, Mission Brown Barkwood
IKO	Cambridge 30	Weatherwood, Driftwood. Charcoal Grey, Dual Black, Heatherwood
	Cambridge LT	Weatherwood, Driftwood, Charcoal Grey, Dual Black
BP	Harmony 30	Stonewood, Twilight Grey, Beachwood, Dual Black
	Mystique	Twilight Gray, Shadow Black, Antique Wood

Additional Colours and Manufacturers as approved by the Designated Consultant

## **Appendix B – Building Design**

### **Facade Design**

#### Objectives:

- Ensure the homes are modern in esthetic and form by using modern design features and materials and excluding traditional elements and decoration.
- Utilize traditional and modern materials in non-traditional, creative applications.
- Create a well-defined, balanced, and inviting front facade that connects the home to the surrounding landscape and street interface.
- Create an inviting entrance by utilizing the front step material and form to complement the overall facade and front door arrangement.
- Incorporate the design features to enhance the facades that have high visibility from park areas, storm ponds, greenbelts, and corner lots.

#### Controls:

- Each home must have a visible front entry that faces the street.
- Homes on corner lots must incorporate the design guidelines to both faces of the facade that front each street, and the rear elevation will also require detailing and trim to match.
- Homes that are located on high visibility lots must incorporate the design guidelines to all rear building facades.
- Each home must incorporate Primary Design Feature and one Secondary Design Feature into the design of each facade or building face deemed highly visible by the Architectural review Consultant.

#### Walkouts:

- The rear elevation of these homes requires special design consideration and must avoid large expanses of blank wall space as well as a three-storey towering appearance. The architectural devices that will best achieve the desired elevation are a combination of various wall planes, downhill sloping roofs in combination with dormers, decks and balconies. The distance from grade to the first eave line should not be more than 20'.

### **Roofs**

#### Objectives:

- To encourage simple, functional, and well-proportioned roof lines to enhance the overall design of facade and entire home.
- To encourage a range of contemporary roof lines within the streetscape to create an interesting and unique development.

Controls:

- Modern Contemporary design permits shed roofs and barreled or simulated barreled roof lines.
- The Prairie Modern theme roof design is limited to a hip or cottage roof throughout the design.
- Farmhouse Modern permits front facing open gables.
- Flat roofs will be accepted.
  - All visible roof pitches must be 3/12 to 5/12 for both Contemporary Modern and Prairie Modern, and 7/12 to 8/12 for Farmhouse Modern.
  - Homes are to emphasize on vertical proportions for Farmhouse Modern.
- Roof eave overhangs must be a minimum of 24" for Prairie Modern, 18" for Contemporary Modern, and 0-12" for Farmhouse Modern. It is recommended, where possible, to provide a larger overhang to meet the style.
- Roofs must utilize one of the materials and approved colours as listed in the Materials and Colours Chart.
- Terra cotta and clay tile roofs are not permitted.
- Domes, turrets, or spires are not permitted.
- All eaves, soffits and fascia must be a minimum of 8" and complement the roof and the overall facade of the home.
- Fascia and soffit must be prefinished metal or hardie/smart board. Soffit may be sealed wood.
- Other roof pitches/designs may be accepted should they meet the intent of the style subject to the Architectural Consultant's approval.

**Garage Doors**

Objectives:

- To allow for a variety of creative garage doors that fit within the Contemporary Modern, Prairie Modern, and Farmhouse Modern design themes.
- To use the garage door as a design element to add visual interest to the front facade of the home.

Control:

- Garage doors must complement the overall facade of the home.
- Traditional panelized or barn door replicas of garage doors will not be permitted for either design theme.
- The colour and material of the garage door must complement the front facade design.
- The Architectural Review Consultant may approve a garage door design, material, or colour not listed within these guidelines should they meet the design intent of the housing style.

## **Windows**

Objectives:

- To allow for a variety of creative window designs that fit within the Contemporary Modern and Prairie Modern design themes. Please refer to the Contemporary Modern and Prairie Modern Design Process graphics for more information.
- To encourage well-proportioned window placement to enhance the overall facade design.
- To achieve a high level of street interface by utilizing interesting window design.

Control:

- Traditional muntin and mullion arrangements throughout the entire window panel will not be permitted for the Contemporary Modern or Prairie Modern design themes.
- Traditional muntin and mullion arrangements to the top third of the window will be permitted for the Prairie Modern, Contemporary Modern design and Farmhouse Modern design themes.
- Window frames must be complementary in colour to the overall selected design theme of Prairie Modern and Contemporary Modern. Black, grey or aluminum windows are required for the Contemporary Modern style and Farmhouse Modern style.
- White window frames will not be permitted on prairie elevations unless it can be shown that they are required to complement the overall design of the facade.
- No half round, quarter round, or palladium window styles will be permitted.
- The Architectural Review Consultant may approve a window design or colour not listed within these guidelines.

## **Primary and Secondary Design Features**

Objectives:

- To promote a variety of design features to add visual interest and functionality to each home such as entry canopies and pergolas, front step to planter interface, feature screens, sunshades, house address identification, exterior light fixtures and similar visual interest items that may be approved by the Architectural Review Consultant. Please refer to the Design Process Graphic, for more information.

Control:

- Creative front steps that enhance the overall design of the front facade will be encouraged.
- Alternate Primary Design and Secondary Design Features not listed here may be approved at the discretion of the Architectural Review Consultant.
- Each dwelling should include multiple primary and secondary design features as listed below.

## Primary Design Feature

- Central Feature
- Entry feature
- Wing Wall (Contemporary Modern) or Garage Feature (Prairie Modern)

## Secondary Design Feature

### *Prairie Modern*

- Central Background Feature
- Chimney Feature
- Entry Planter
- Dropped Soffit Feature
- Horizontal Banding Feature

### *Contemporary Modern*

- Framing Accent
- Screening Feature
- Entry Planter
- Street side Deck
- Background Accent Feature
- Precast front steps must be of exposed aggregate finish.
- Wood steps will not be permitted.
- All materials used to construct design features must be complementary in colour and form to the overall design of the front facade.
- Ornamentation must be contemporary in design and complement the home. No historical styles or details will be permitted e.g. (arches, decorative columns, animal ornaments, intricate mouldings, etc.)

### *Farmhouse Modern*

- Simple Modern Details
- Masonry Applied as a Panel Detail
- Wood Panel applied as a “block” feature.

## **Materials**

### Objectives:

- To encourage the use of materials with proper scale and proportion to create an interesting modern facade.
- To promote the controlled variety of the neighbourhood esthetics.

### Controls:

- Please refer to the Materials Chart for approved material selections.
- Unacceptable Wall Materials
  - Raw wood siding
  - Wood shakes
  - Vinyl siding
  - Hardie board siding; hardie board panels are acceptable.
  - Stone is limited to an accent material comprising no more than 25% of the front facade.
- Exterior walls that do not make up a front facade must be designed with complementary materials and colours.
- A combination of approved complementary materials and colours must be used to all walls that face a street or are classified as high visibility. A maximum of 4 materials may be used per wall face.
- Alternate Materials not listed here may be approved at the discretion of the Architectural Review Consultant.
- No facade may be comprised of 100% material.
- The facade may be composed of a recommended maximum of 75% of any one material.
- Any accent material may only comprise a recommended minimum of 5% of the front or highly visible facade.

## **Colours**

### Objectives:

- To promote a controlled variety of colours that complement each home and fit within the context of the block and the neighbourhood.

### Control:

- Please refer to the Colour Chart for approved colour selections.
- Overly bright or fluorescent colours will not be approved.
- No facade may be comprised of 100% colour.
- Accent colours are to be recommended for a minimum of 5% of the front facade of the home.
- The facade may be composed of a recommended maximum of 75% of any one colour.
- The secondary colour may be comprised of a minimum of 20%.
- Percentages are a guideline only. Alternative arrangements may be considered subject to the Design Consultants Approval.
- The front facade will be limited to 4 colours.
- All colour schemes must be approved by the Architectural Design Consultant.

## Appendix C

### Approved Material Selections

The following are the approval material selections and colours for primary and secondary design features. Please note that the architectural consultant may consider and approve a material, colour, profile or texture not listed below; such materials and colours may be approved based on their merit and design use:

#### Wall Material:

<p><b>Stone</b></p> <p><b>Eldorado Stone or similar:</b></p> <ul style="list-style-type: none"> <li>• <u>Dark, Rundle stacked stone.</u></li> <li>• <u>Olympic stacked stone</u></li> <li>• <u>Banff Springs cliffstone</u></li> </ul> <p><b>Cultured Stone or similar:</b></p> <ul style="list-style-type: none"> <li>• <u>Blank Rundle Alpine ledgerstone</u></li> <li>• <u>Black Mountain Alpine ledgerstone</u></li> <li>• <u>Aspen Country ledgerstone</u></li> <li>• <u>Bucks Country ledgerstone</u></li> </ul>	<p><b>Brick</b></p> <p><b>IXL or similar:</b></p> <ul style="list-style-type: none"> <li>• <u>Small IXL 126 Grayborn Smooth</u></li> <li>• <u>Small IXL 151 Sable Smooth</u></li> <li>• <u>Small IXL 209 Russet Graitex</u></li> <li>• <u>Small IXL 213 Chocolate Brown Graitex</u></li> <li>• <u>Small IXL 219 Charcoal Graitex</u></li> <li>• <u>Small IXL 223 Laurentian Grey Graitex</u></li> <li>• <u>Small IXL 274 Victoria Grey Graitex</u></li> </ul>
<p><b>Stucco</b></p> <p>See approved colour palette for colour choices.</p> <p><b>Textures:</b></p> <ul style="list-style-type: none"> <li>• <u>Fine Sand Float</u></li> <li>• <u>Medium Sand Float</u></li> </ul> <p><b>Composite Timber Board</b></p> <p><b>Parktex or similar:</b></p> <ul style="list-style-type: none"> <li>• <u>Amber</u></li> <li>• <u>Rubi</u></li> <li>• <u>Copper</u></li> <li>• <u>Onyx</u></li> <li>• <u>Antra</u></li> </ul>	<p><b>Metal Cladding</b></p> <p><b>Vicwest or similar:</b></p> <p>Vicwest 7/8" corrugated CL938, AD 300, or similar as approved by the architectural review consultant.</p> <ul style="list-style-type: none"> <li>• <u>QC 16066 Tile Red</u></li> <li>• <u>QC 16072 Charcoal</u></li> <li>• <u>QC 16071 Stone Grey</u></li> <li>• <u>AZ 150 Galvalume</u></li> </ul>

## Approved Colour Selections

### Primary Colours — Stucco (Or similar)

<ul style="list-style-type: none"> <li>• <u>2137-50 Sea Haze</u></li> <li>• <u>2139-40 Heather Gray</u></li> <li>• <u>HC-106 Sandy Hook Gray</u></li> <li>• <u>HHC-163 Duxbury Gray</u></li> <li>• <u>2137-40 Desert Twilight</u></li> </ul>	<ul style="list-style-type: none"> <li>• <u>HC-86 Kingsport Gray</u></li> <li>• <u>CC-510 Buckhorn</u></li> <li>• <u>HC-85 Fairview Taupe</u></li> <li>• <u>CC-542 Willow</u></li> <li>• <u>HC-19 Norwich Brown</u></li> </ul>	<ul style="list-style-type: none"> <li>• <u>CC-562 Night Owl</u></li> </ul>
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### Secondary Colours — Stucco (Or similar)

<ul style="list-style-type: none"> <li>• <u>OC-24 Cloud Cover</u></li> <li>• <u>OC-32 Tapestry Beige</u></li> <li>• <u>HC-172 Revere Pewter</u></li> <li>• <u>CC-500 Ranchwood</u></li> <li>• <u>HC-24 Pittsfield Bluff</u></li> </ul>	<ul style="list-style-type: none"> <li>• <u>HC-21 Huntington Beige</u></li> <li>• <u>HC-89 Northampton Putty</u></li> <li>• <u>CC-362 Elk</u></li> <li>• <u>CC-512 Marshlands</u></li> </ul>
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### Accent Colours — Stucco (Or similar)

<ul style="list-style-type: none"> <li>• <u>2166-10 Gold Rush</u></li> <li>• <u>CC-152 Laurentian Red</u></li> <li>• <u>CC-390 Rusty Nail</u></li> <li>• <u>HC-115 Georgian Green</u></li> <li>• <u>2121-20 Steel Wool</u></li> <li>• <u>HC-57 Clinton Brown</u></li> </ul>
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## Approved Colour Selections — Siding

The following are the approved main wall colours for Hardie Plank (by James Hardie) and may also be used as a basis for Acrylic Stucco colours subject to Consultant Review.

### Hardie Plank (by James Hardie) or similar

- |                          |                         |                          |
|--------------------------|-------------------------|--------------------------|
| • <u>Khaki Brown</u>     | • <u>Mountain Sage</u>  | • <u>Evening Blue</u>    |
| • <u>Woodstock Brown</u> | • <u>Chestnut Brown</u> | • <u>Grey Slate</u>      |
| • <u>Monterey Taupe</u>  | • <u>Iron Grey</u>      | • <u>Night Grey</u>      |
| • <u>Timberbark</u>      | • <u>Aged Pewter</u>    | • <u>Traditional Red</u> |
| • <u>Rich Espresso</u>   | • <u>Deep Ocean</u>     |                          |

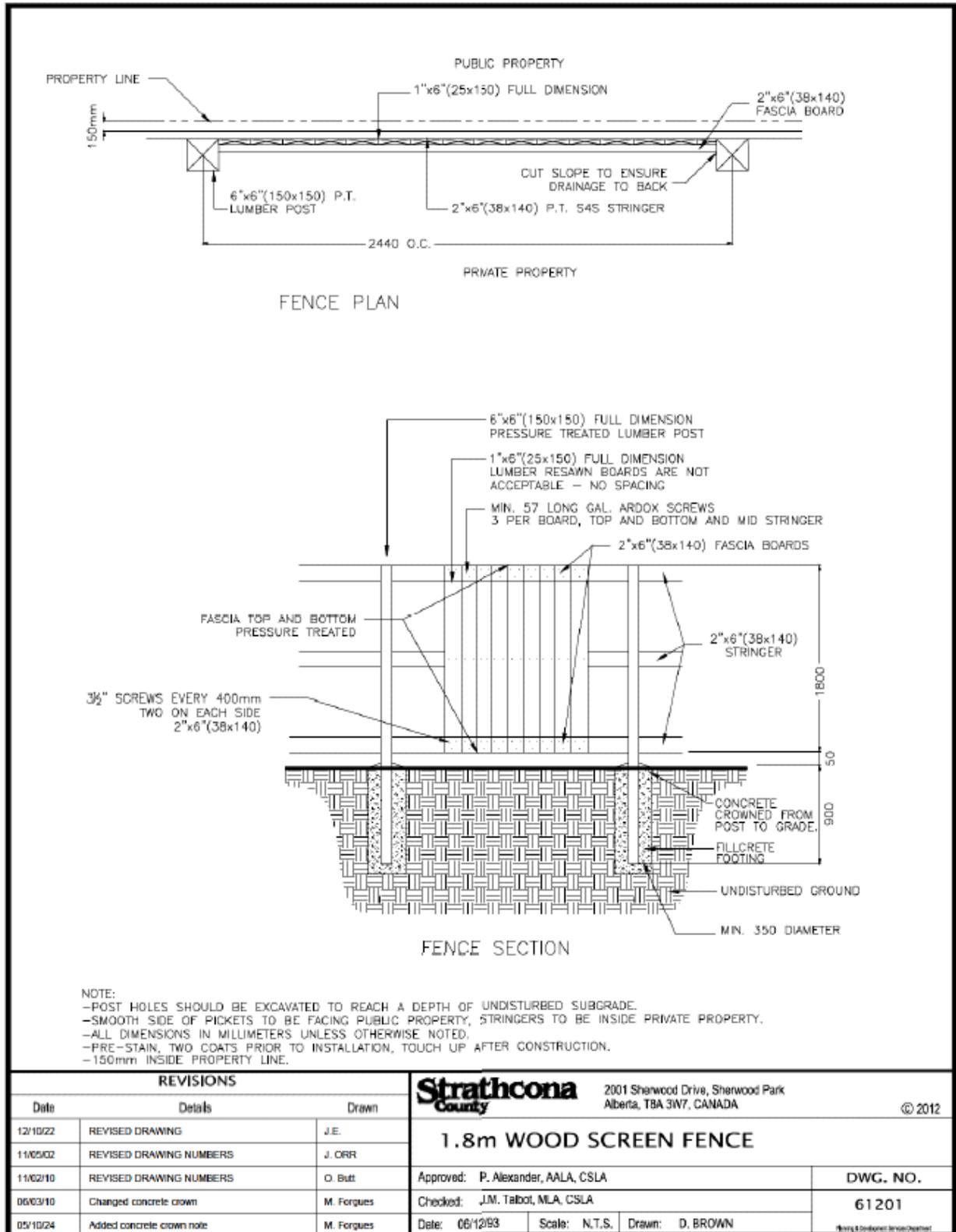
## **Appendix D – Fencing Detail**

**The approved wood screen fencing colors in Salisbury Village are as follows:**

**Fence Color: Cloverdale paint, Sandstone**

**Post Cap to be Pyramidal**

**Please see the attached fence detail schematic for further information.**



# Appendix E

